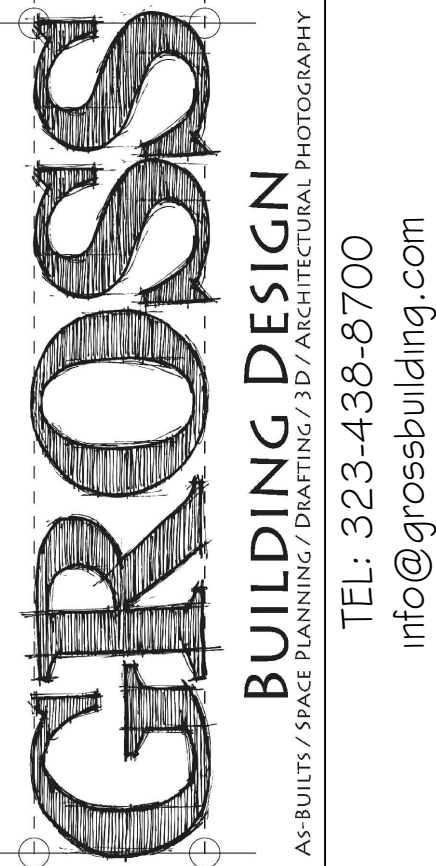


1529 BEL AIR RD.

LOS ANGELES, CA 90077

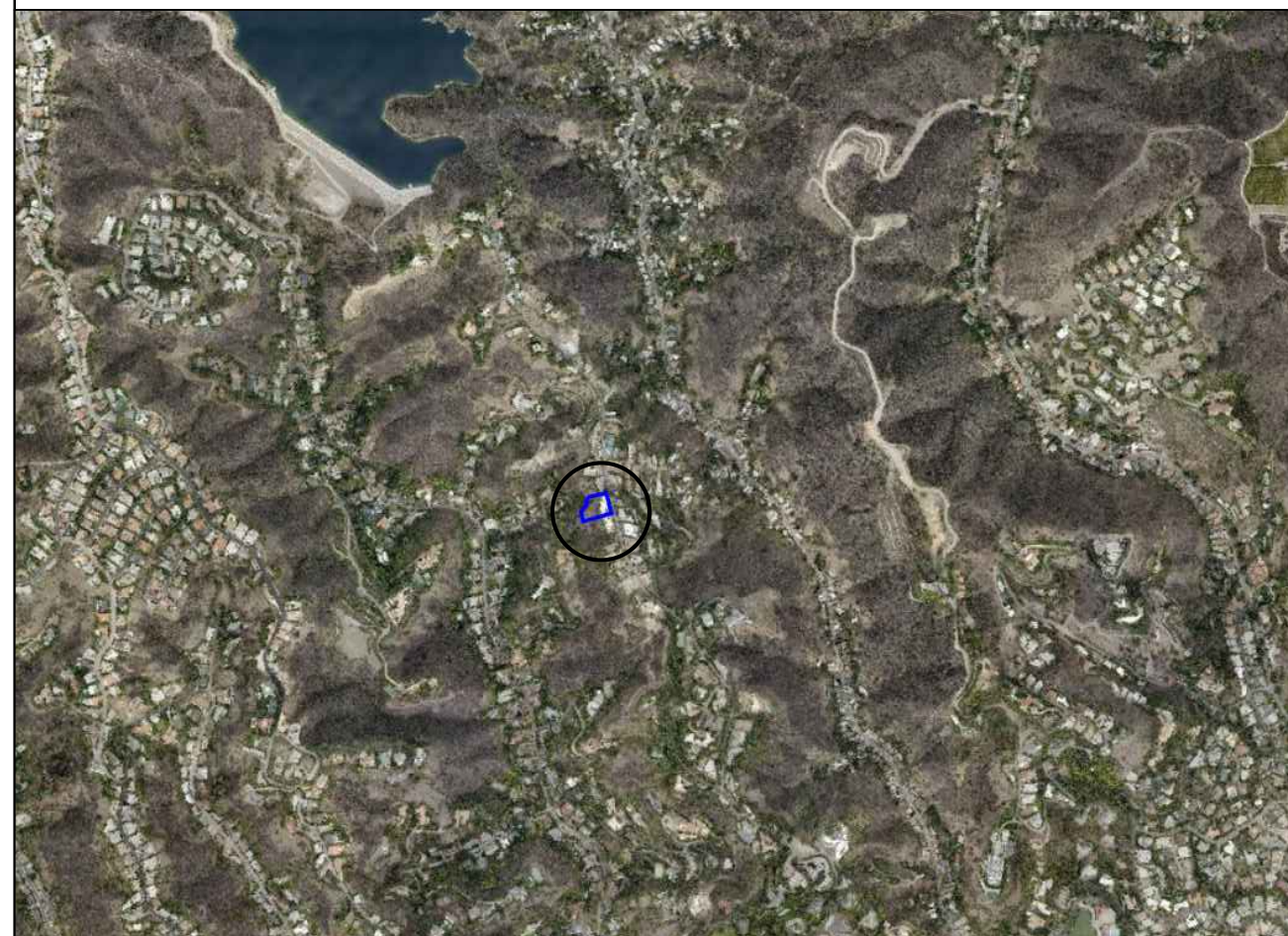
NOTE:
SEE PAGE C-1 FOR SLOPE BAND



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		A-8.2	BSMT FLOOR INTERIOR ELEVATIONS						

VICINITY MAP



PROJECT NAME:
MACONICK RESIDENCE
1529 BEL AIR RD.
LOS ANGELES, CA 90077

NOT TO SCALE



SCOPE OF WORK

TEAR DOWN EXISTING 2,730 SQ FT MAIN RESIDENCE AND DETACHED GARAGE / GUEST HOUSE. CONSTRUCT A NEW GROUND UP 10,916.59 SQFT 2 STORY + BASEMENT W/ A 570 SF DETACHED GARAGE . THE GARAGE IS ATTACHED TO THE MAIN HOUSE VIA A 5' WIDE COVERED BREEZEWAY.

THE MAIN HOUSE WILL CONSIST OF 7 BEDS, 7 BATHS, 4 HALF-BATHS, POOL & JACUZZI, SAUNA, GYM, 2-LANE BOWLING ALLEY, THEATER ROOM, BAR & WINE CELLARS.

2 RETAINING WALLS TO BE SUBMITTED SEPARATELY

GRADING AND DRAINAGE PLANS TO BE SUBMITTED SEPARATELY.

POOL TO BE DEFERRED SUBMISSION.

GLASS GUARDRAIL TO BE DONE UNDER SEPARATE PERMIT.

NOTE

VERY HIGH FIRE HAZARD SEVERITY ZONE (VHFSZ) NOTES:

- EAVES AND SOFFITS SHALL MEET THE REQUIREMENTS OF SFM 12-7A-3 OR SHALL BE PROTECTED BY IGNITION-RESISTANT MATERIALS OR NON-COMBUSTIBLE CONSTRUCTION ON THE EXPOSED UNDERSIDE (704A.2.3)
- EXTERIOR WALLS SHALL BE APPROVED NON-COMBUSTIBLE OR IGNITION-RESISTANT MATERIAL, HEAVY TIMBER, OR LOG WALL CONSTRUCTION OR SHALL PROVIDE PROTECTION FROM THE INTRUSION OF FLAMES AND EMBERS IN ACCORDANCE WITH STANDARD SFM 12-7A-1 (704A3.1)
- EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF FOUNDATION TO THE ROOF, AND TERMINATE AT 2-INCH (50.8MM) NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AT ALL ROOF OVERHANGS, OR IN THE CASE OF ENCLOSED EAVES, TERMINATE AT THE ENCLOSURE (704A3.2)
- EXTERIOR WINDOWS, WINDOW WALLS, GLAZED DOORS, AND GLAZED OPENINGS WITHIN EXTERIOR DOORS SHALL BE INSULATING-GLASS UNITS WITH A MINIMUM OF ONE TEMPERED PANE, OR GLASS BLOCK UNITS, OR HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 20 MINUTES, WHEN TESTED ACCORDING TO ASTM E 2010, OR CONFORM TO THE PERFORMANCE REQUIREMENTS OF SFM 12-7A-2 (704A.3.2.2)
- EXTERIOR DOOR ASSEMBLIES SHALL CONFORM TO THE PERFORMANCE REQUIREMENTS OF STANDARD SFM 12-7A-1 OR SHALL BE APPROVED NON-COMBUSTIBLE CONSTRUCTION, OR SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1-3/8" THICK WITH THE INTERIOR FIELD PANEL THICKNESS NOT LESS THAN 1-1/4" THICK, OR SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES, WHEN TESTED ACCORDING TO ASTM E 2074. (EXCEPTION: NON-COMBUSTIBLE OR EXTERIOR FIRE-RETARDANT TREATED WOOD VEHICLE ACCESS DOORS) (704A.3.2.3)
- THE UNDERSIDE OF CANTILEVERED AND OVERHANGING APPENDAGES AND FLOOR PROTECTIONS SHALL MAINTAIN THE IGNITION-RESISTANT INTEGRITY OF EXTERIOR WALLS, OR THE PROTECTION SHALL BE ENCLOSED TO THE GRADE (704A.4.2.1)
- ALL UTILITIES, PIPES, FURNACES, WATER HEATERS OR OTHER MECHANICAL DEVICES LOCATED IN THE EXPOSED UNDER-FLOOR AREA OF THE RESIDENTIAL BUILDING SHALL BE ENCLOSED WITH MATERIALS AS REQUIRED FOR 1-HOUR FIRE-RESISTIVE CONSTRUCTION. (7207.2)
- NO TRELLIS IS PERMITTED WITHIN 10 FEET OF THE PRIMARY STRUCTURE.
- A CLASS A ROOF COVERING IS REQUIRED FOR ALL BUILDINGS. WOOD SHAKES AND SHINGLES ARE NOT PERMITTED. (7207.4, 1505)
- VALLEY FLASHINGS SHALL BE NOT LESS THAN 0.019-INCH (0.48 MM) (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM 3/8-INCH-WIDE (914MM) UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 72 ASTM CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY (705A.3)
- ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER (705A.4)
- (ROOF) (ATTIC)(EXTERIOR WALL) VENTS SHALL RESIST THE INTRUSION OF FLAME AND EMBERS INTO THE ATTIC AREA OF THE STRUCTURE, OR SHALL BE PROTECTED BY CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH WITH 1/4 - INCH (6 MM) OPENINGS OR ITS EQUIVALENT. VENTS SHALL NOT BE INSTALLED IN EAVES AND CORNICES (706A.1, 706A.2, 706A.3, 7207.3)
- DECKING, SURFACES, STAIR TREADS, RISERS, AND LANDINGS OF DECKS, PORCHES, AND BALCONIES WHERE ANY PORTION OF SUCH SURFACE IS WITHIN 10 FEET (3048 MM) OF THE PRIMARY STRUCTURE SHALL BE CONSTRUCTED OF HEAVY TIMBER, NON COMBUSTIBLE OR OTHER APPROVED MATERIALS PER SEC. 709A.3
- THE SPACE BETWEEN THE ROOF COVERING AND ROOF DECKING SHALL BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS AND BE FIRE STOPPED PER 705A.2
- BUILDINGS SHALL HAVE ALL UNDERFLOOR AREAS COMPLETELY ENCLOSED TO THE GRADE WITH CONSTRUCTION AS REQUIRED FOR EXTERIOR WALLS (707A.8, 7207.1)
- TRELLIS MORE THAN 10 FEET FROM THE PRIMARY STRUCTURE SHALL BE CONSTRUCTED OF HEAVY TIMBER OR NON-COMBUSTIBLE MATERIALS. MINIMUM OF 4 INCHES SPACING IS REQUIRED BETWEEN THE MEMBERS. (INFORMATION BULLETIN NO. P/BC 2008-023).

BUILDING DATA

ADDRESS:	1529 BEL AIR RD, LOS ANGELES, CA 90077
APN	4370-017-022
TRACT NO.	TR 13939
LOT NO.	9
ZONING	RE40-1-H
TYPE OF CONSTRUCTION:	NFPA-13D SPRINKLER SYSTEM
BASELINE HILLSIDE:	YES
SITE AREA:	32,093.2 SQ FT
TOTAL LOT COVERAGE:	6,524 SQ FT = 20.3%
MAX ALLOWABLE LOT COVERAGE:	12,837.28 SQ FT = 40%
NUMBER OF STORIES:	TWO + BASEMENT
MAX ALLOWABLE HEIGHT:	36'-0" (PITCHED)
PROPOSED HEIGHT:	35'-6"
PARKING (PROVIDED)	3 CAR GARAGE + 2 UNCOVERED PARKING
APPLICABLE ZI's:	ZI-2462 MODIFICATIONS TO SF ZONES AND SF ZONE HILLSIDE AREA REGULATIONS ZI-2467 HCR HILLSIDE CONSTRUCTION REGULATION SUPPLEMENTAL USE DISTRICT

FLOOR AREA CALCULATIONS (SEE A-1.0.1 FOR FLOOR AREA TABLES)

	PROPOSED BUILDING	TOTAL RFA	SCHOOL FEE AREA	MAX. ALLOWED
BASEMENT	4,724.46 SF <small>>60% OF EXTERIOR WALLS ARE BELOW 5' ABOVE GRADE & LESS THAN 12' HIGH</small>	0 SQFT	4,473 SQFT	PER SLOPE ANALYSIS: 6,894.88 SQ FT
FIRST FLOOR	3,619.36 SF	3,619.36 SF	3,905 SQFT	
FIRST FLOOR OVER 14'	26.26 SF	26.26 SF	0 SQFT	
SECOND FLOOR	2,458.12 SF	2,458.12 SF	2,583 SQFT	
SECOND FLOOR OVER 14'-0"	228.01 SF	228.01 SF	0 SQFT	
COVERED PATIO	114.65 SF	114.65 SF	0 SQFT	
GARAGE	570 SF	370 SF <small>(570 SF - 200 SF = 370 SF)</small>	0 SQFT	
TOTAL	10,916.59 SF (WITH BASEMENT) + 570 SF GARAGE	6,816.4 SF	10,961 SQFT	6,816.4 SQ FT < 6,894.88 SQ FT = OK

PROJECT TEAM

OWNER	DESIGNER/ARCHITECT	STRUCTURAL / GRADING / MEP	GEO / SOILS	CONTRACTOR
OWNER: Rupert Maconick 489 Carroll Ave, Los Angeles, CA 90291 P: 310.871.8008 E: rupert@savilleproductions.com	DESIGNER: Gross Building Design 202 S. Raymond Ave #315 Pasadena, CA 91105 P: 323.438.8700 E: info@grossbuilding.com ARCHITECT: RLH Architects 2745 Saturn St. Brea, CA 92821 P: 949.250.1809 E: ralph@rlharchitects.com	STRUCTURAL ENGINEER: Dass Structural Engineers, Inc. 208 12th St. Unit A Huntington Beach, CA 92648 P: 949.295.7943 E: dass.structural@gmail.com GRADING ENGINEER: The Eden Group 14412 Friar St Van Nuys, CA 91401 P: 888.895.3336 E: info@TheEdenGroup.com MEP ENGINEER: A & N Design Group 19126 Haynes St #2 Reseda, CA 91335 P: 818.288.4361 E: Arash@AN-DG.com	GEOLOGIST: Hillside Inspections 7622 Goddard Ave. Los Angeles, CA 90045 P: 424.781.7152 E: info@hillsideinspections.com SOILS ENGINEER: Tonan Geotechnical 1554 Cipres Ct. Camarillo, CA 93010 P: 805.603.1007 E: info@tonangt.com	TBD Address: P: E:

COVER SHEET

1529 BEL AIR RD.
LOS ANGELES, CA 90077

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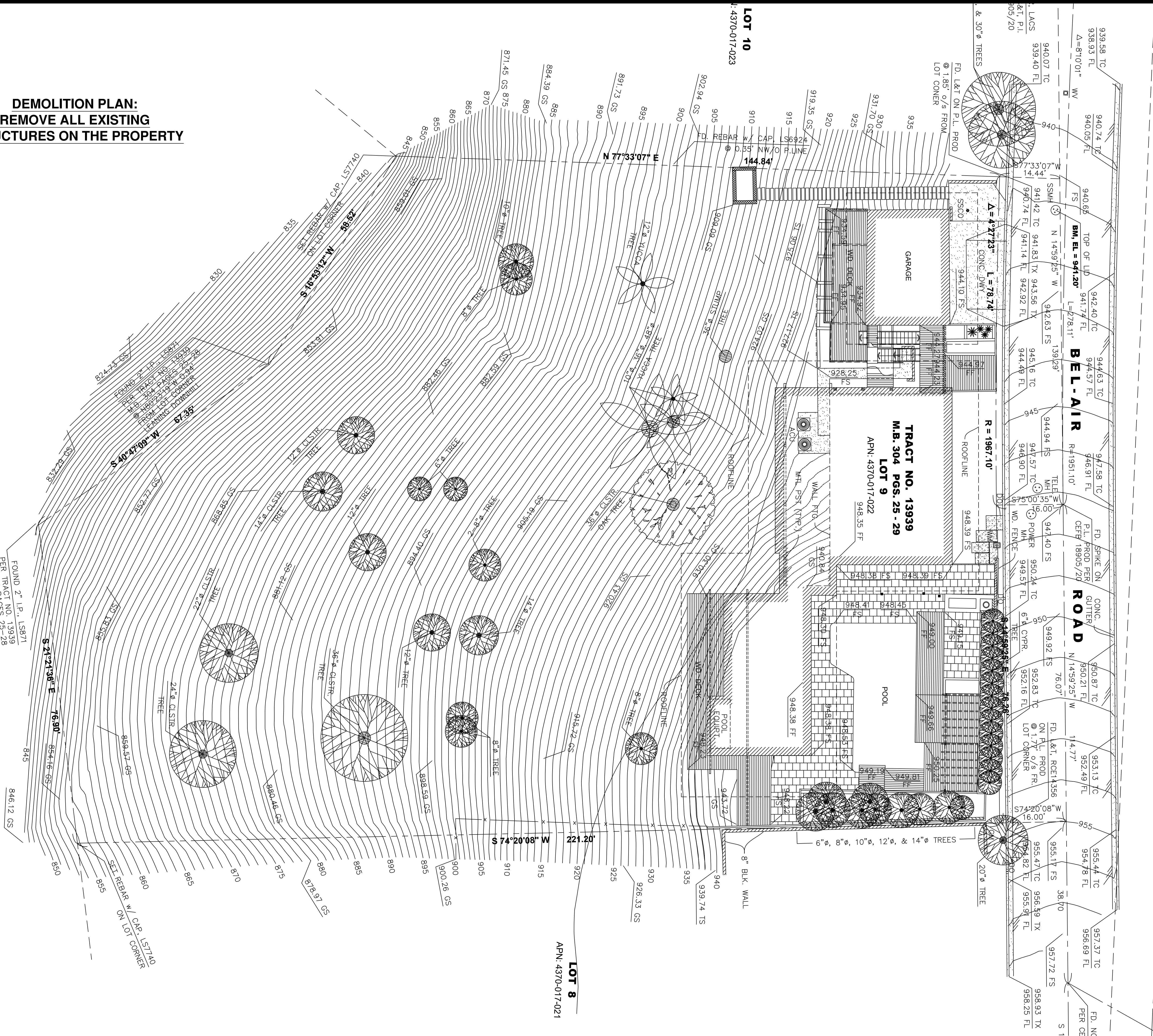
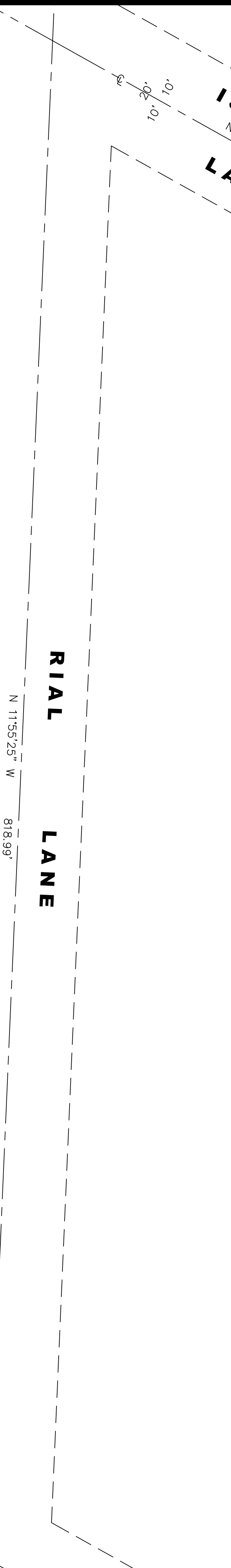
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1529 BEL AIR RD.
 LOS ANGELES, CA 90077



**DEMOLITION PLAN:
 REMOVE ALL EXISTING
 STRUCTURES ON THE PROPERTY**

HAULING TRUCK TRIPS. A MAXIMUM OF FOUR TRUCKS ARE PERMITTED TO HAUL PER HOUR PER PROJECT SITE. A GROUPING OR CONVOY OF HAULING VEHICLES SHALL NOT BE ALLOWED; ONLY ONE HAULING VEHICLE IS PERMITTED PER PROJECT SITE AT ANY ONE TIME.

4. HAULING TRUCK OPERATIONS. AS CONDITIONS OF PROJECT APPROVAL FOR THE ISSUANCE OF A GRADING OR BUILDING PERMIT FOR PROJECTS IN A HCR DISTRICT, EACH OF THE FOLLOWING HAULING OPERATION STANDARDS SHALL BE MET:

- (a) PROJECTS REQUIRED TO OBTAIN A HAUL ROUTE APPROVAL FROM THE BOARD OF BUILDING AND SAFETY COMMISSIONERS FOR THE IMPORT AND/OR EXPORT OF 1,000 CUBIC YARDS OR MORE OF EARTH MATERIAL SHALL PROMINENTLY POST THE FINAL ACTION LETTER WITH THE APPROVED HAUL ROUTE STAFF REPORT ON THE JOB SITE AT ALL TIMES.
- (b) NO GRADING SHALL BE PERFORMED WITHIN ANY AREAS DESIGNATED "HILLSIDE" UNLESS A COPY OF THE GRADING PERMIT IS PROMINENTLY POSTED ON THE JOB SITE AT ALL TIMES.
- (c) ALL HAULING VEHICLES MUST BE IDENTIFIED BY A PLACARD IDENTIFYING THE PROJECT ADDRESS WHICH SHALL BE PROMINENTLY DISPLAYED ON EACH HAULING VEHICLE.

6. OPERATING HOURS AND CONSTRUCTION ACTIVITY. COMPLIANCE WITH EACH OF THE FOLLOWING STANDARDS SHALL BE REQUIRED FOR ALL PROJECTS IN A HCR DISTRICT REQUIRING THE ISSUANCE OF A GRADING OR BUILDING PERMIT. HOWEVER, IF A HAUL ROUTE APPROVAL BY THE BOARD OF BUILDING AND SAFETY COMMISSIONERS IS REQUIRED FOR IMPORT AND/OR EXPORT OF 1,000 CUBIC YARDS OR MORE, THEN THE CONDITIONS SET BY THE BOARD OF BUILDING AND SAFETY COMMISSIONERS DURING THE HAUL ROUTE APPROVAL PROCESS SHALL PREVAIL AND THE FOLLOWING STANDARDS SHALL NOT APPLY.

5. EQUIPMENT. AS CONDITIONS OF PROJECT APPROVAL FOR THE ISSUANCE OF A GRADING OR BUILDING PERMIT FOR PROJECTS IN A HCR DISTRICT, EACH OF THE FOLLOWING EQUIPMENT STANDARDS SHALL BE MET:

- (a) 10-WHEELER DUMP TRUCKS (WITH A 10 CUBIC YARD CAPACITY) OR SMALLER ARE THE ONLY TYPE OF TRUCKS PERMITTED FOR HAULING OF EARTH. NOTWITHSTANDING THE FOREGOING, THE BOARD OF BUILDING AND SAFETY COMMISSIONERS MAY AUTHORIZE THE USE OF OTHER TYPES OF HAULING VEHICLES FOR A PROJECT THROUGH THE HAUL ROUTE APPROVAL PROCESS.
- (b) HAULING AND GRADING EQUIPMENT SHALL BE KEPT IN GOOD OPERATING CONDITION AND MUFFLED AS REQUIRED BY LAW.

(c) HAULING OPERATIONS SHALL BE CONDUCTED ONLY ON MONDAY THROUGH FRIDAY, BETWEEN THE HOURS OF 9:00 A.M. AND 3:00 P.M. HAULING OPERATIONS ON SATURDAYS, SUNDAYS, OR STATE OR FEDERAL DESIGNATED HOLIDAYS IS STRICTLY PROHIBITED.

(d) HAUL TRUCKS SHALL BE STAGED OFF-SITE AND OUTSIDE OF THE HCR DISTRICT, AS DEEMED NECESSARY, BY THE BOARD OF BUILDING AND SAFETY COMMISSIONERS MAY PERMIT STAGING ON-SITE OR IN ANY ALTERNATE STAGING AREA BY SPECIAL CONDITION DURING THE HAUL ROUTE APPROVAL PROCESS.

(e) CONSTRUCTION ACTIVITY SHALL BE LIMITED TO MONDAY THROUGH FRIDAY, BETWEEN THE HOURS OF 8:00 A.M. TO 6:00 P.M. EXTERIOR CONSTRUCTION WORK AT ANY OTHER TIME IS STRICTLY PROHIBITED. HOWEVER, INTERIOR CONSTRUCTION WORK MAY BE CONDUCTED ON SATURDAYS BETWEEN THE HOURS OF 8:00 A.M. TO 6:00 P.M. EXCESS EXTERIOR ILLUMINATION OF THE SITE THROUGH THE USE OF FLOOD LIGHTS AND/OR SIMILAR LIGHTING DEVICES IS STRICTLY PROHIBITED AFTER 6:00 P.M. ON ANY DAY OF THE WEEK.

(f) A LOG NOTING THE DATES OF HAULING ACTIVITY AND THE NUMBER OF HAULING TRUCK TRIPS PER DAY SHALL BE AVAILABLE ON THE JOB SITE AT ALL TIMES.

(g) THE OWNER OR CONTRACTOR SHALL CONTROL DUST CAUSED BY GRADING AND HAULING AND PROVIDE REASONABLE CONTROL OF DUST CAUSED OR EXACERBATED BY WIND AT ALL TIMES. GRADING AND HAULING ACTIVITIES SHALL BE DISCONTINUED DURING PERIODS OF HIGH WINDS AND RED FLAG DAYS AS DETERMINED BY THE LOS ANGELES FIRE DEPARTMENT.

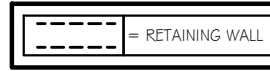
(h) LOADS SHALL BE SECURED BY TRIMMING AND SHALL BE COVERED TO PREVENT SPILLAGE AND DUST. HAUL TRUCKS ARE TO BE CONTAINED AT THE EXPORT SITE TO PREVENT BLOWING OF DIRT AND ARE TO BE CLEANED OF LOOSE EARTH AT THE EXPORT SITE TO PREVENT SPILLING.

(i) STREETS SHALL BE CLEANED OF SPILLED MATERIALS AT THE TERMINATION OF EACH WORKDAY.

(j) "TRUCK CROSSING" WARNING SIGNS SHALL BE PLACED 300 FEET IN ADVANCE OF THE EXIT FROM THE PROJECT SITE IN EACH DIRECTION.

(k) FLAG PERSON(S) SHALL BE REQUIRED FOR ALL PROJECT SITES. FLAG PERSONS WITH RADIO CONTROL AND WARNING SIGNS SHALL BE IN COMPLIANCE WITH THE LATEST EDITION OF THE "WORK AREA TRAFFIC CONTROL HANDBOOK." FLAG PERSONS PROVIDED AT THE JOB SITE SHALL ASSIST TRUCKS IN AND OUT OF THE PROJECT AREA.

RETAINING WALL #1: 18'-4-1/316"
RETAINING WALL #2: 99'-2-1/16"



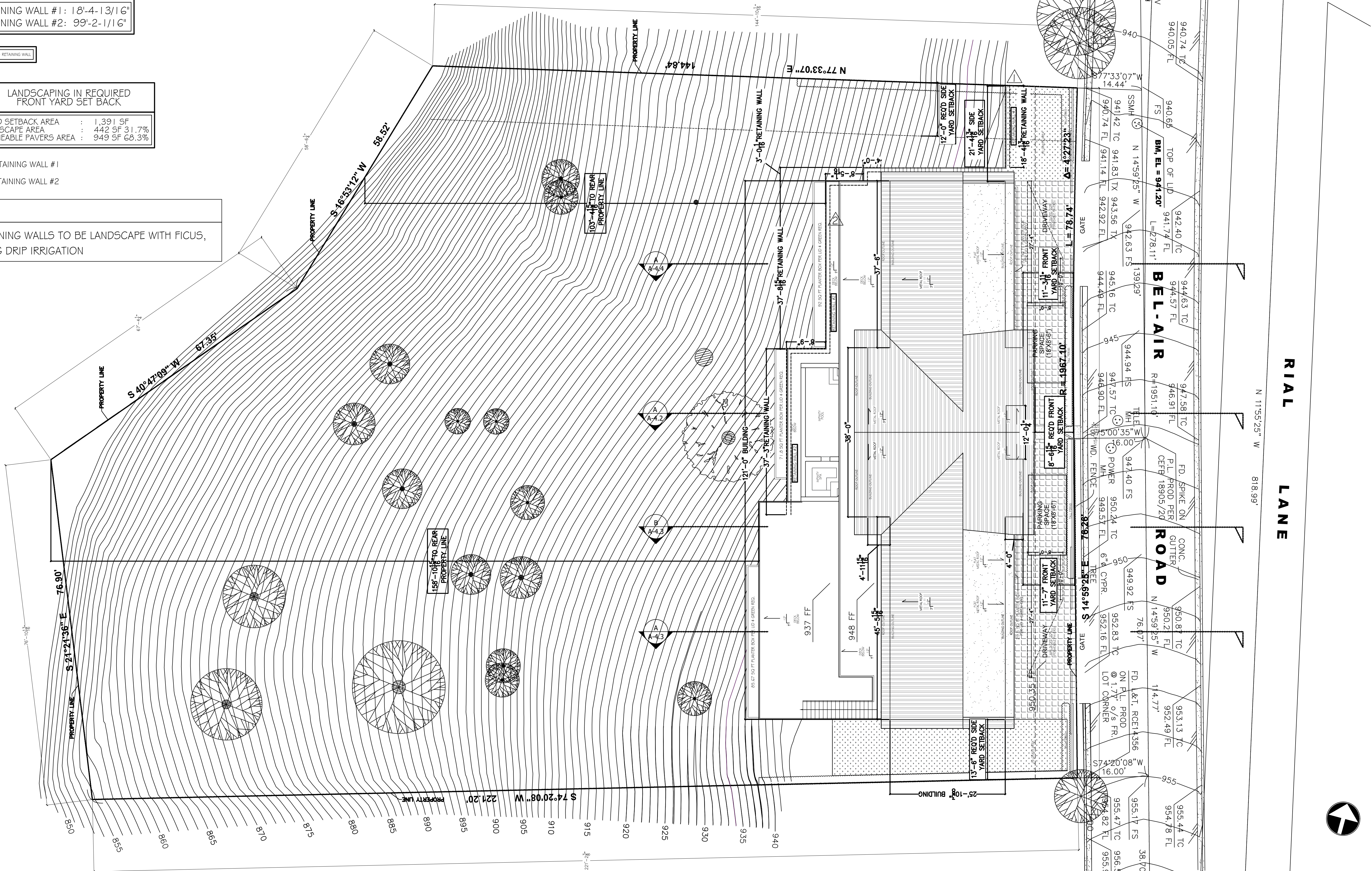
LANDSCAPING IN REQUIRED FRONT YARD SET BACK

REQD SETBACK AREA : 1,391 SF
LANDSCAPE AREA : 442 SF 31.7%
PERMEABLE PAVERS AREA : 949 SF 68.3%

- △ RETAINING WALL #1
- △ RETAINING WALL #2

NOTE:

- RETAINING WALLS TO BE LANDSCAPE WITH FICUS, USING DRIP IRRIGATION



A SITE PLAN

Scale: 3/32" = 1'-0"

GROSS
BUILDING DESIGN
ARCHITECTURE / PLANNING / INTERIOR DESIGN / LANDSCAPE ARCHITECTURE / PHOTOGRAPHY
TEL: 323-438-8700
info@grossbuilding.com

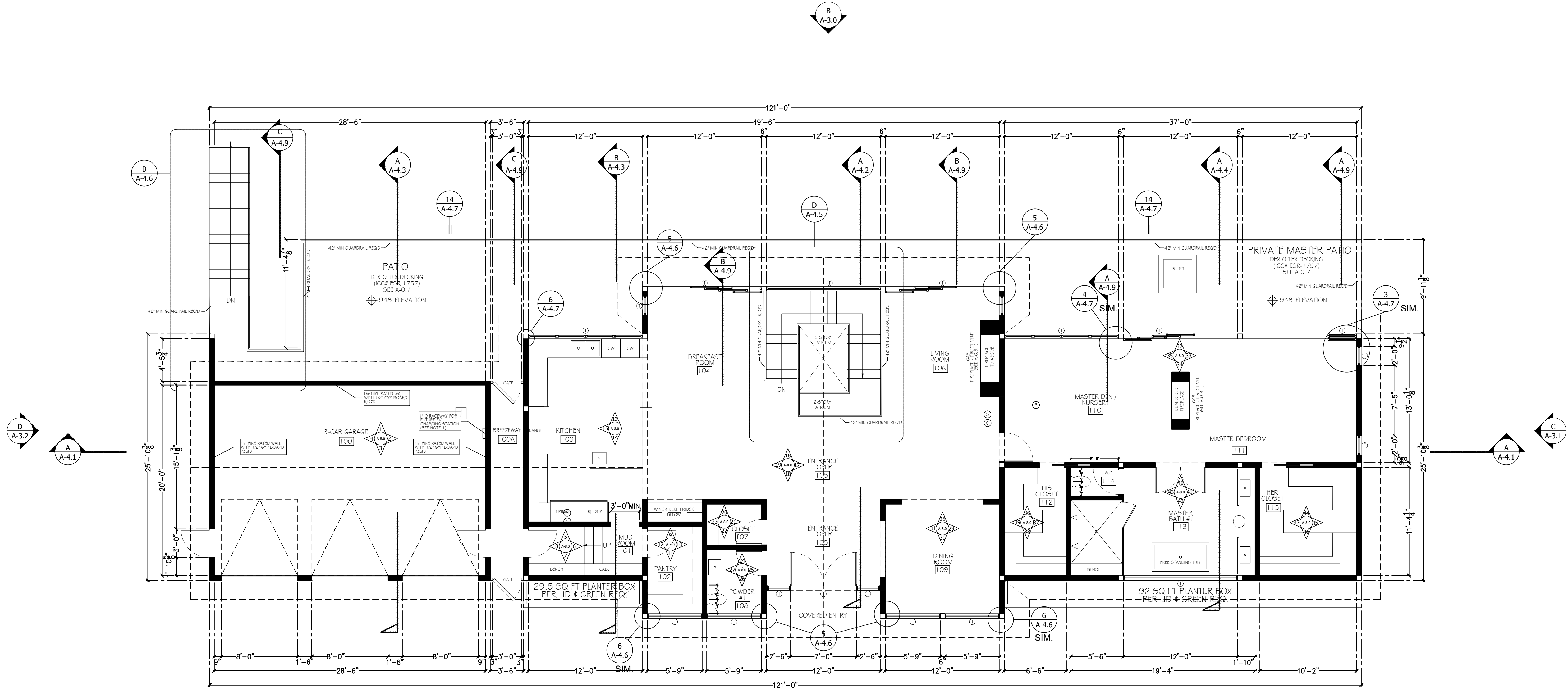
SITE PLAN
1529 BEL AIR RD.
LOS ANGELES, CA 90077

ISSUES & REVISIONS

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1 A MINIMUM 1" (INSIDE DIAMETER) LISTED RACEWAY IS INSTALLED FOR EACH UNIT TO ACCOMMODATE A DEDICATED 208/240 VOLT BRANCH CIRCUIT. THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR A SUBPANEL AND TERMINATE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF THE CHARGING SYSTEM INTO A LISTED CABINET, BOX OR ENCLOSURE.



- ① TEMPERED GLASS - SEE DOOR & WINDOW SCHEDULE
- ⊙ = SMOKE DETECTOR
- ⊙ = CARBON MONOXIDE DETECTOR

A PROPOSED SECOND FLOOR FLOOR PLAN

Scale: 3/16" = 1'-0"

PROPOSED SECOND FLOOR FLOOR PLAN

1529 BEL AIR RD.
 LOS ANGELES, CA 90077

ISSUES & REVISIONS

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SHEET:
A-1.1

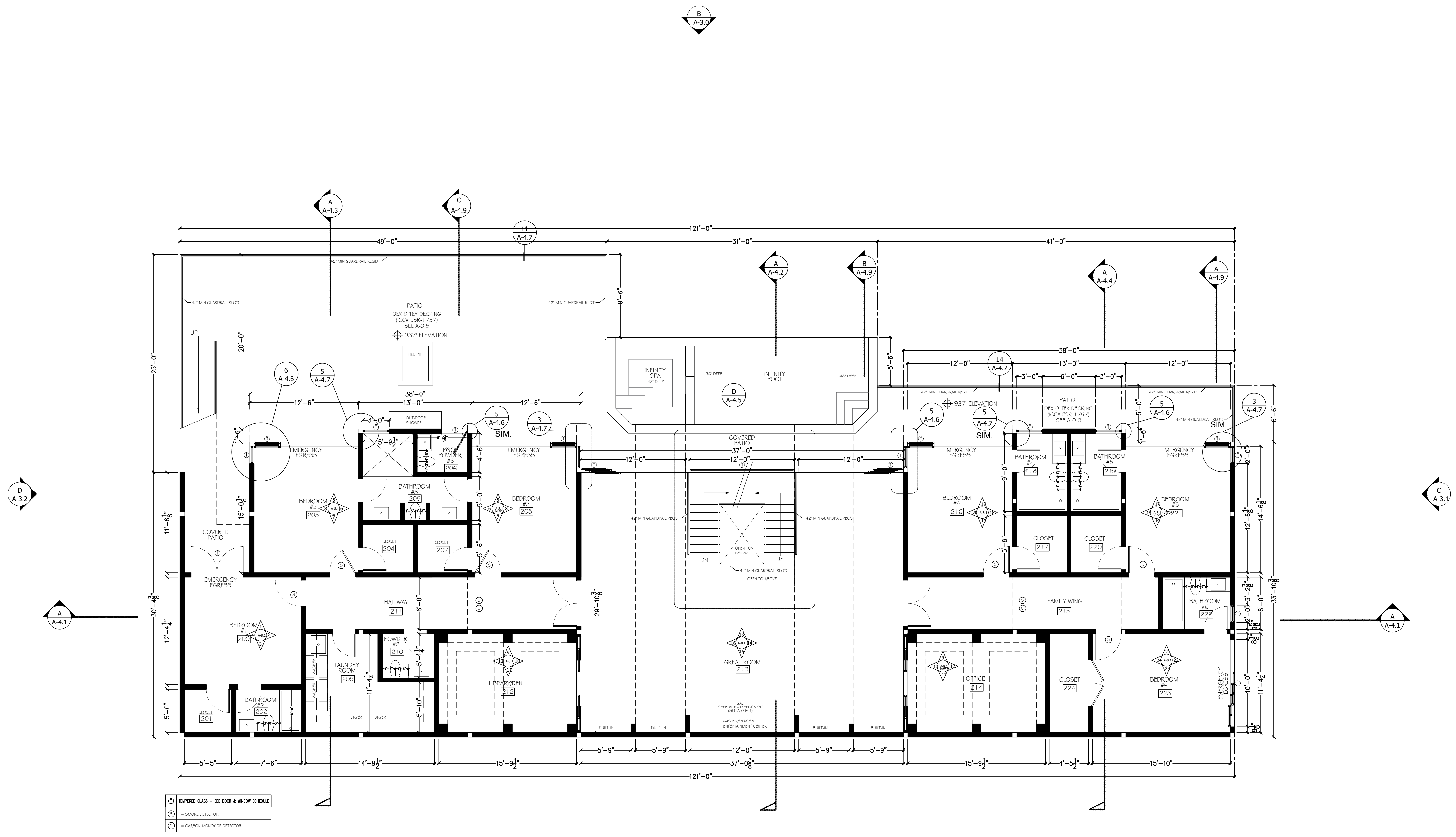
PROPOSED FIRST FLOOR FLOOR PLAN

1529 BEL AIR RD.
 LOS ANGELES, CA 90077

ISSUES & REVISIONS

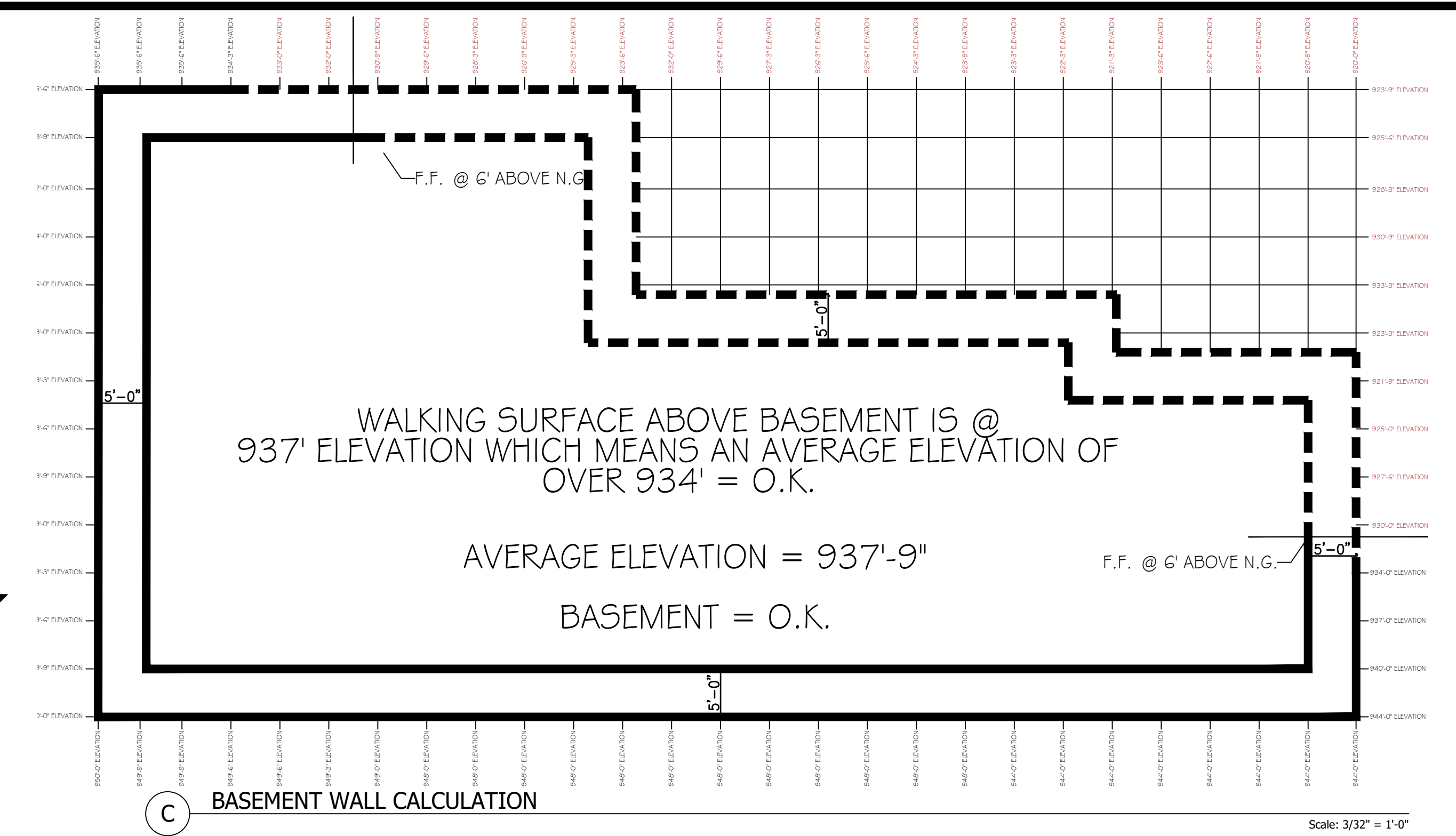
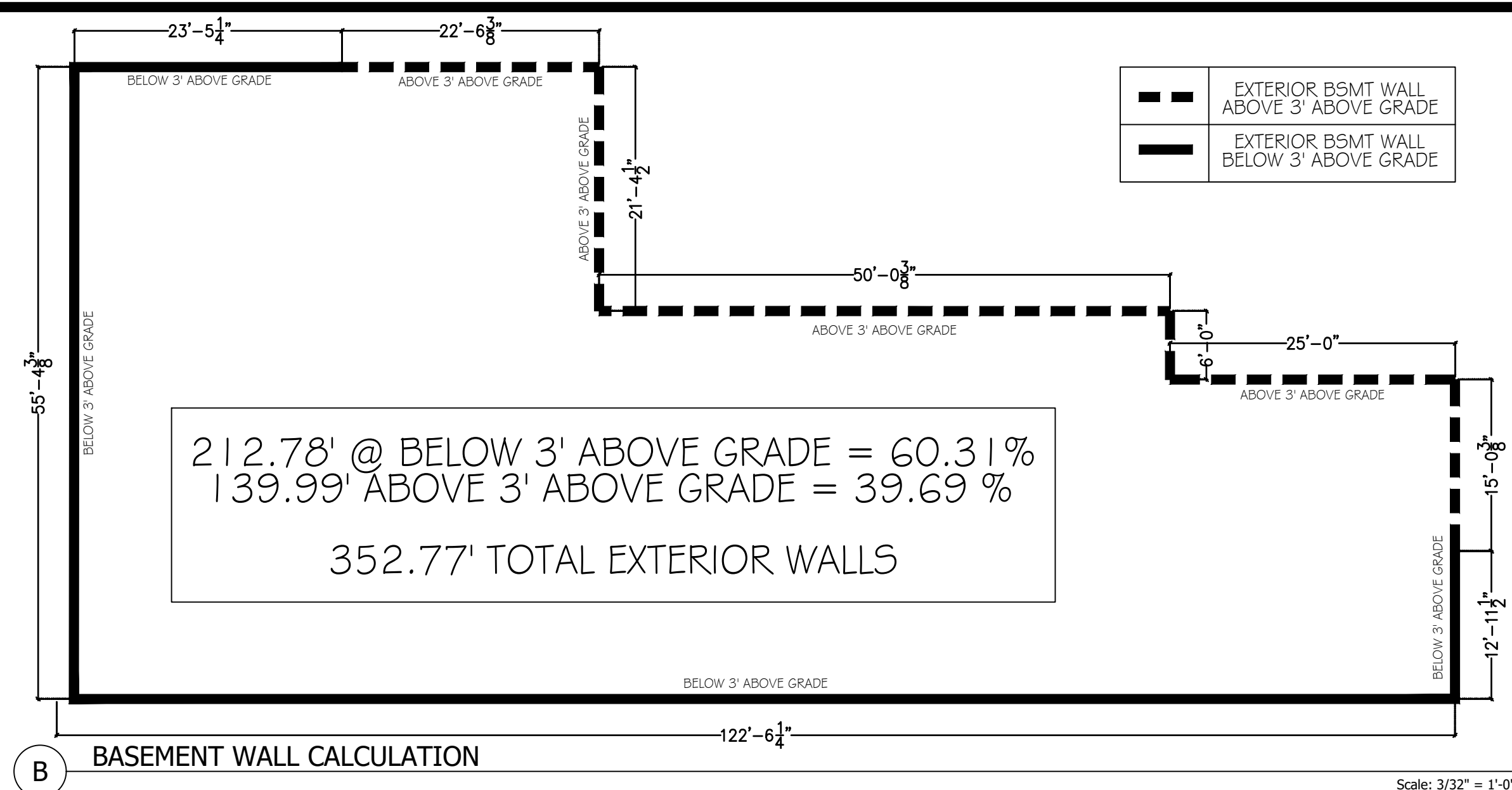
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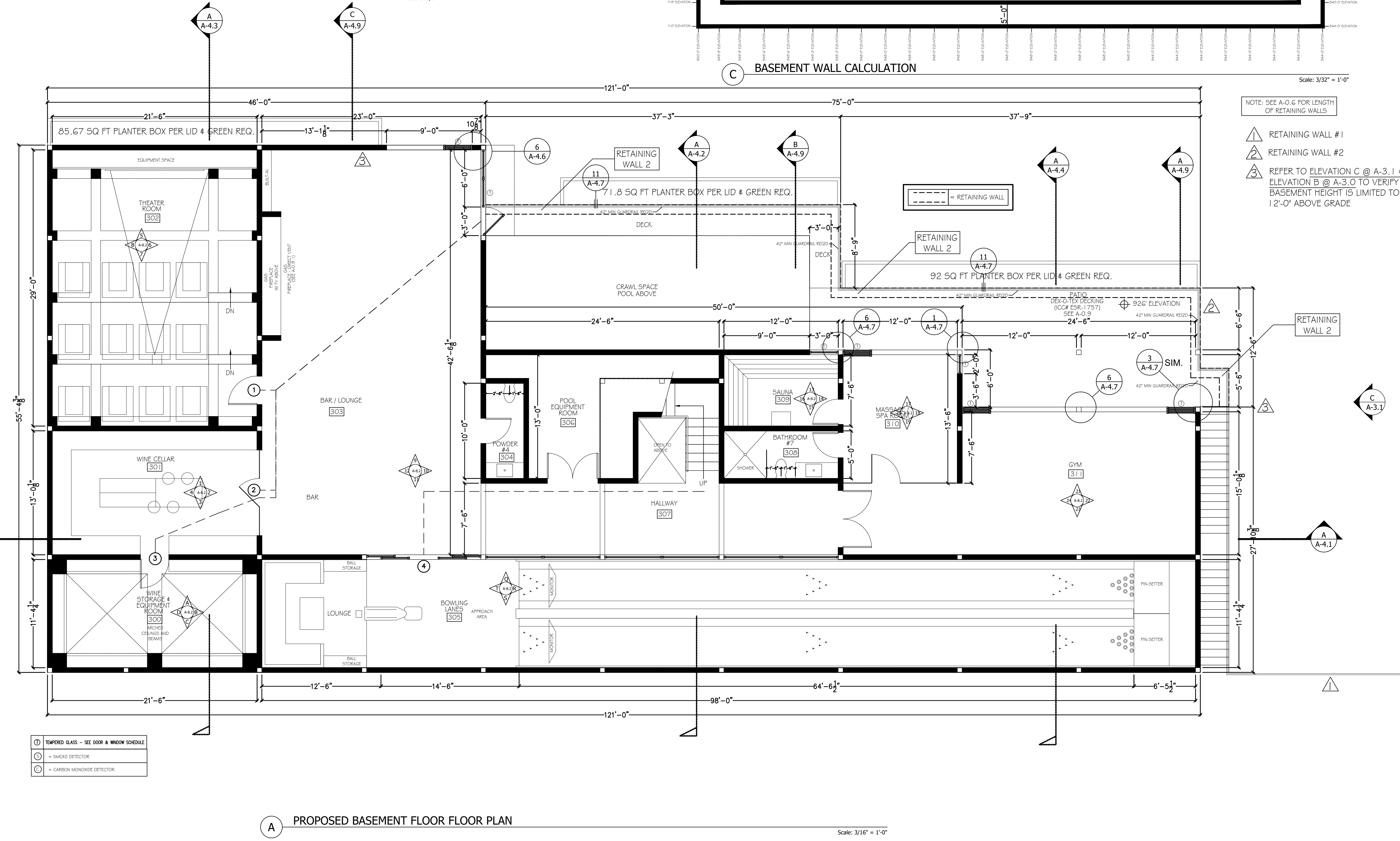


A PROPOSED FIRST FLOOR FLOOR PLAN

Scale: 3/16" = 1'-0"



- DISTANCE TO INTERIOR STAIR & EGRESS DOOR:**
- 1 FROM THEATRE ROOM: 29'-6-11/16"
 - 2 FROM WINE CELLAR: 40'-0-5/8"
 - 3 FROM WINE STORAGE: 54'-1-5/16"
 - 4 FROM BOWLING ALLEY: 36'-1"



PROPOSED ROOF PLAN

1529 BEL AIR RD.
 LOS ANGELES, CA 90077

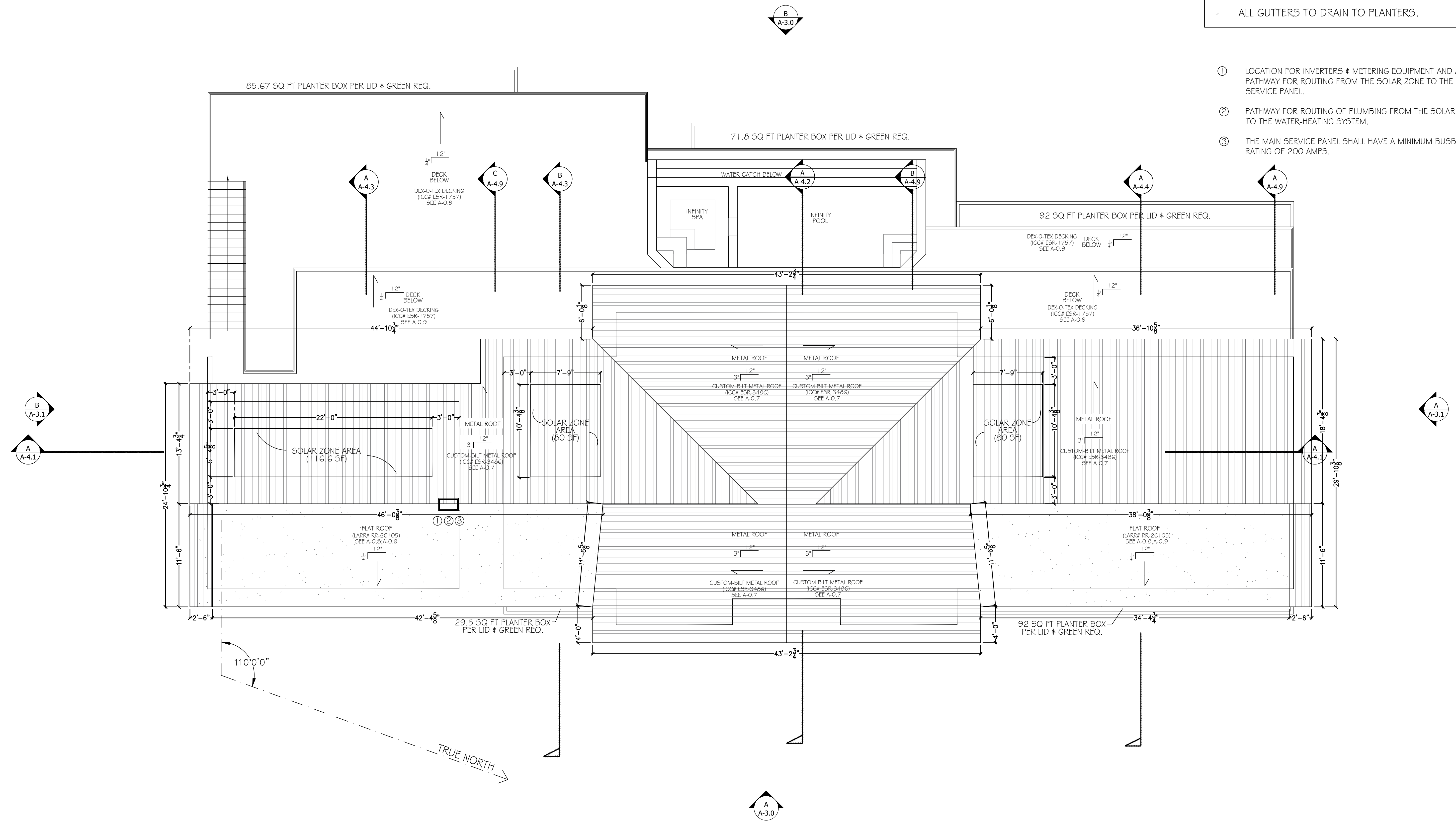
ISSUES & REVISIONS

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SHEET:
 A-2.0

- NOTES:**
- THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR THE MAIN CIRCUIT LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS 'FOR FUTURE SOLAR ELECTRIC' (4.211.4, ENERGY CODE 110.10, LAFD REQUIREMENT No.96)
 - ALL GUTTERS TO DRAIN TO PLANTERS.

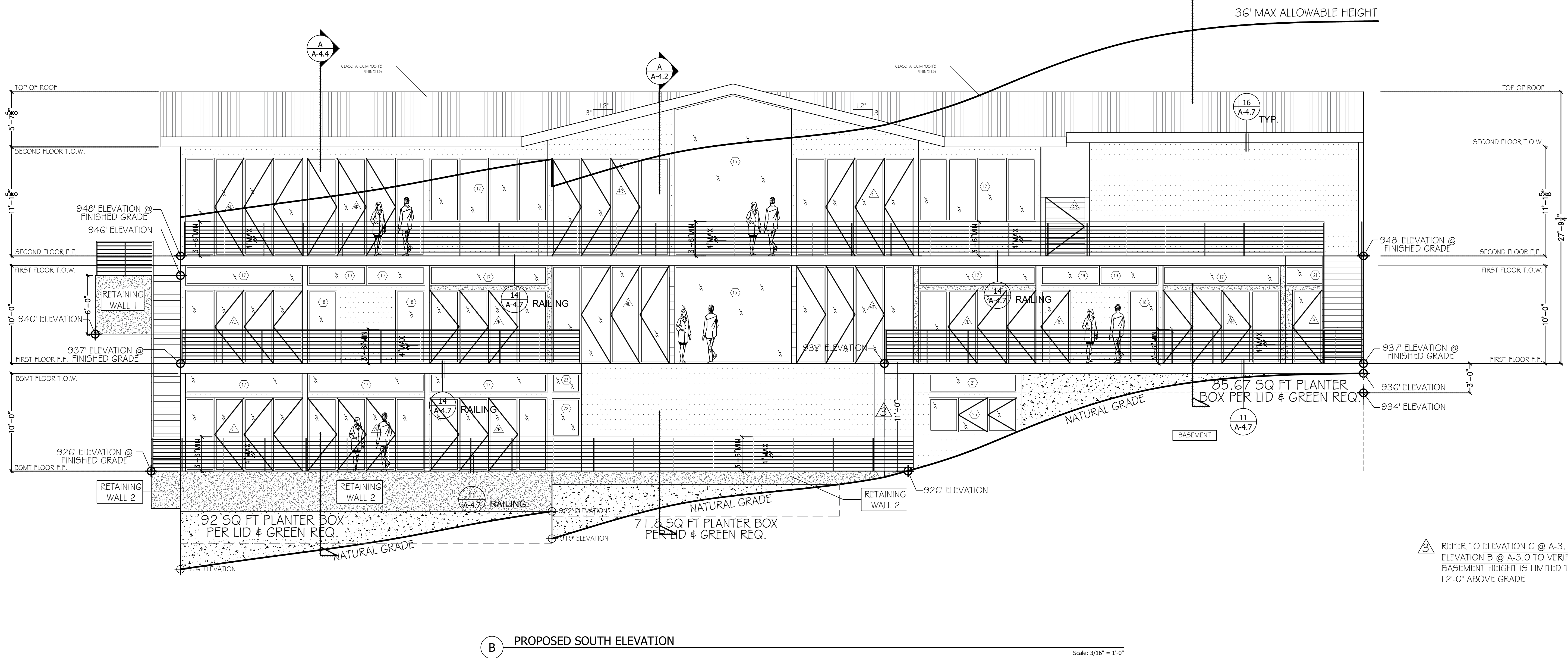
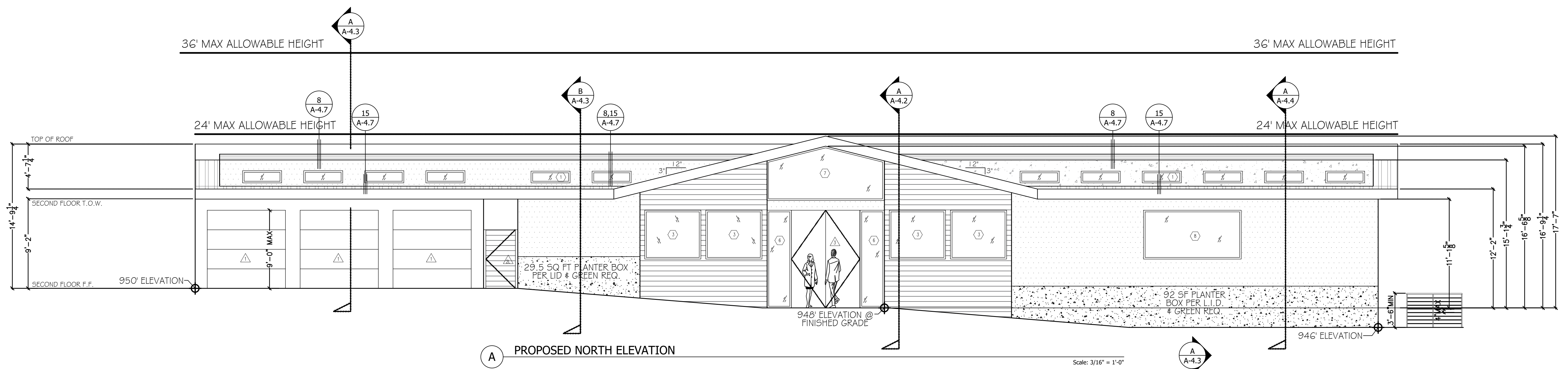
- ① LOCATION FOR INVERTERS & METERING EQUIPMENT AND A PATHWAY FOR ROUTING FROM THE SOLAR ZONE TO THE MAIN SERVICE PANEL.
- ② PATHWAY FOR ROUTING OF PLUMBING FROM THE SOLAR ZONE TO THE WATER-HEATING SYSTEM.
- ③ THE MAIN SERVICE PANEL SHALL HAVE A MINIMUM BUSBAR RATING OF 200 AMPS.



PROPOSED ROOF PLAN

Scale: 3/16" = 1'-0"

NOTE:
 - RETAINING WALLS TO BE LANDSCAPE WITH FICUS, USING DRIP IRRIGATION



PROPOSED ELEVATIONS

1529 BEL AIR RD.
 LOS ANGELES, CA 90077

ISSUES & REVISIONS

DRAWN BY: MPG
 DATE: 02/13/17
 SCALE: AS SHOWN

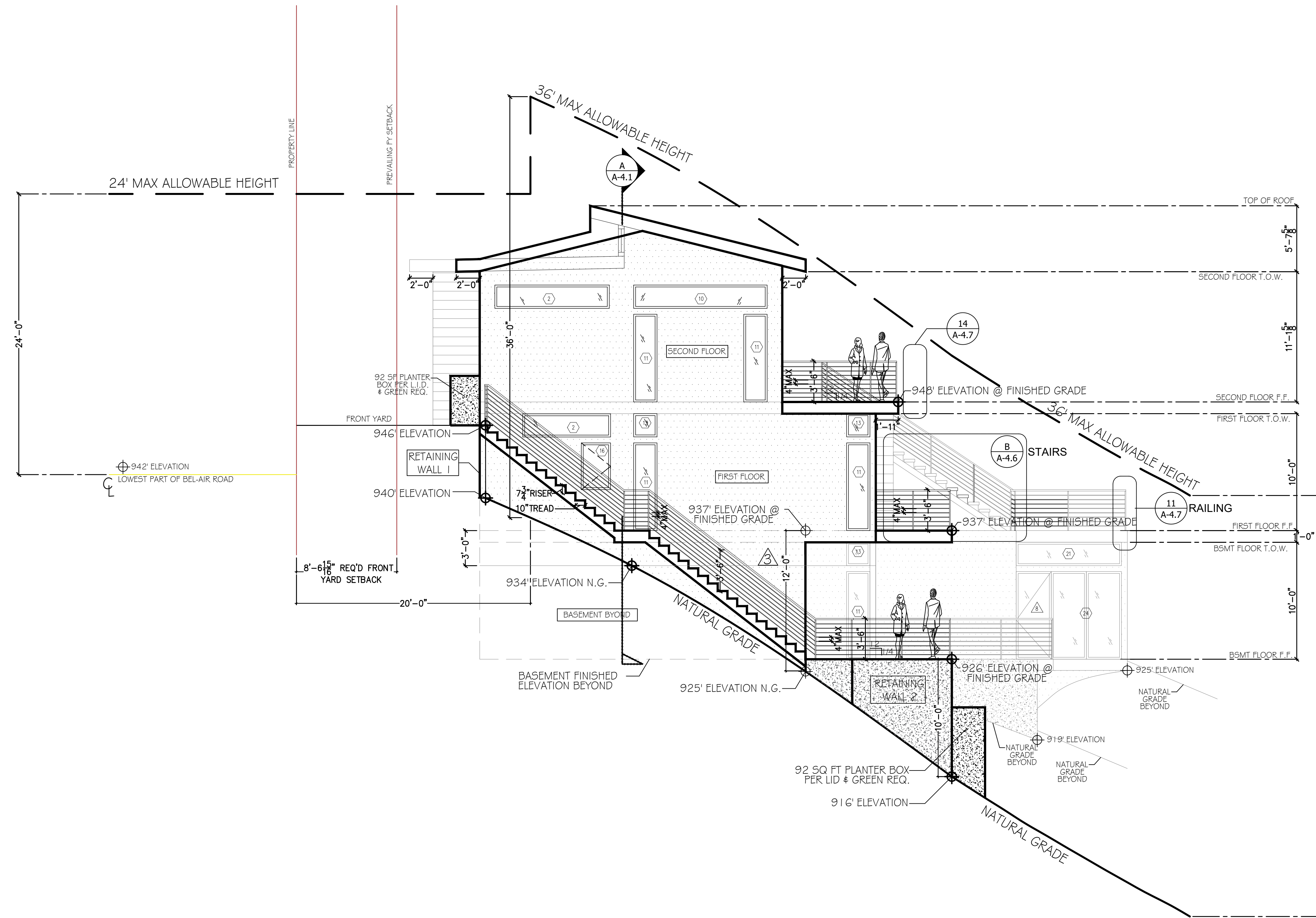
SHEET:
A-3.0

REFER TO ELEVATION C @ A-3.1 & ELEVATION B @ A-3.0 TO VERIFY BASEMENT HEIGHT IS LIMITED TO 12'-0\"/>

NOTE:
 - STEEL CABLES FOR GUARDRAIL

REFER TO ELEVATION C @ A-3.1 & ELEVATION B @ A-3.0 TO VERIFY BASEMENT HEIGHT IS LIMITED TO 12'-0" ABOVE GRADE

NOTE:
- RETAINING WALLS TO BE LANDSCAPE WITH FICUS, USING DRIP IRRIGATION



C PROPOSED EAST ELEVATION

Scale: 3/16" = 1'-0"

PROPOSED ELEVATIONS

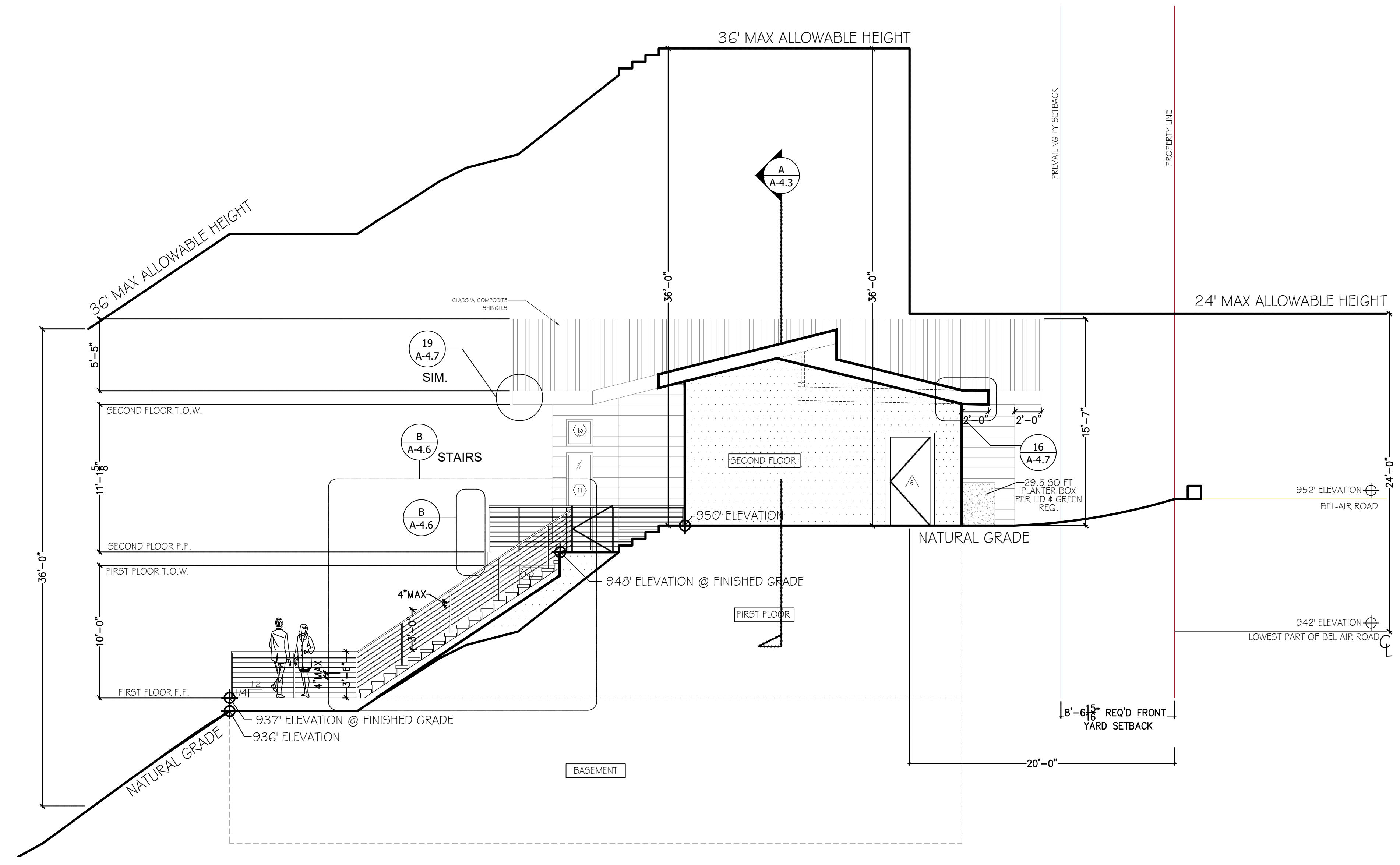
1529 BEL AIR RD.
LOS ANGELES, CA 90077

ISSUES & REVISIONS

DRAWN BY: MPG
DATE: 02/13/17
SCALE: AS SHOWN

SHEET:
A-3.1

NOTE:
- STEEL CABLES FOR GUARDRAIL



D PROPOSED WEST ELEVATION

Scale: 3/16" = 1'-0"

PROPOSED ELEVATIONS

1529 BEL AIR RD.
 LOS ANGELES, CA 90077

ISSUES & REVISIONS

DRAWN BY: MPG
 DATE: 02/13/17
 SCALE: AS SHOWN

SHEET:
A-3.2

NOTE:
 - STEEL CABLES FOR GUARDRAIL